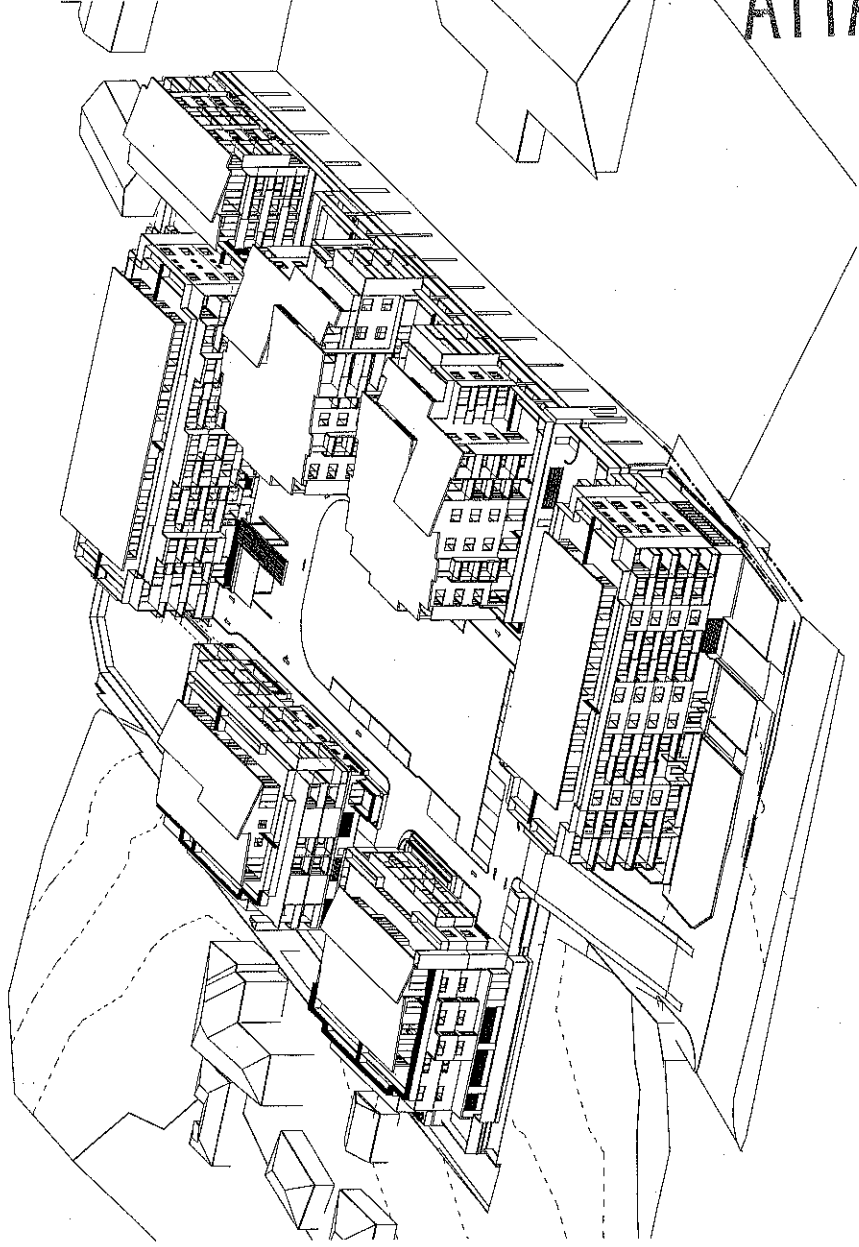


TASMAN COURT RESIDENTIAL UNIT DEVELOPMENT

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APARTMENT & CAR PARK SCHEDULES		1002
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FOOTPRINT COMPARISON PODIUM FLOOR PLAN		011
FOOTPRINT COMPARISON FIRST FLOOR PLAN		012
FOOTPRINT COMPARISON SECOND FLOOR PLAN		013
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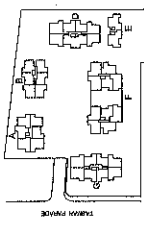


1 PERSPECTIVE VIEW

B

FOOTPRINT
COMPARISON GROUND
& MEZZANINE FLOOR
PLANS

DA/SP96 FOOTPRINT ANALYSIS, THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A PROFESSIONAL ENGINEERING DESIGN OR CONSULTING SERVICE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.



LOCATION PLAN

dylam

10000 Lakeside Drive, Suite 100
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Fax: 02 9438 7201
Email: info@dylam.com.au
www.dylam.com.au

CLIENT

PROJECT
10000 Lakeside Drive, Suite 100
Fairfield, NSW 2040
Fairfield West NSW

PROJECT NUMBER
243.1

REV.	REVISION	DESCRIPTION	REV. DATE
1	Issued for Section 96	5/9/12	
2	Re Issued for Section 96	17/9/12	
3	Drawings Added	27/11/12	

SECTION 96
SCALE @ B1
1: 250
SCALE @ A3
DATE
8/12/11
DRAWN BY
JD
CHECKED BY
DH
DRAWING NUMBER
011
REVISION
3
DRAWING
FOOTPRINT
COMPARISON PODIUM
FLOOR PLAN

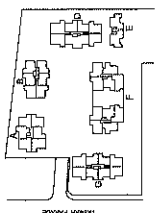


DASHED LINE DENOTES APPROVED
EXTENT OF PROPOSED BUILDING
FOOTPRINT
CLARITY

HATCHED AREA DENOTES
EXTENT OF PROPOSED BUILDING
FOOTPRINT
CLARITY

1 DA/SP96 FOOTPRINT ANALYSIS PODIUM FLOOR PLAN
1: 250

SECTION 96
SCALE @ B1
1: 250



LOCATION PLAN

dylam

10000 Lakeside Way
Suite 100
Fairfield NSW 2165
Tel: 02 9646 1000
Fax: 02 9646 1001
www.dylam.com.au

CLIENT

PROJECT
Section 96, 80-84 Tarnant
Road & Wattle Road
Fairfield West NSW

PROJECT NUMBER

243.1

REV.	REVISION	DESCRIPTION	REV. DATE
------	----------	-------------	-----------

1	Issued for Section 96	5/6/12	
2	Re issued for Section 96	17/6/12	
3	Dimensions Added	27/11/12	

SECTION 96
ATTACHMENT

SCALE @ B1
1: 250

SCALE @ A1

DATE
6/12/11

DESIGNED BY
JD

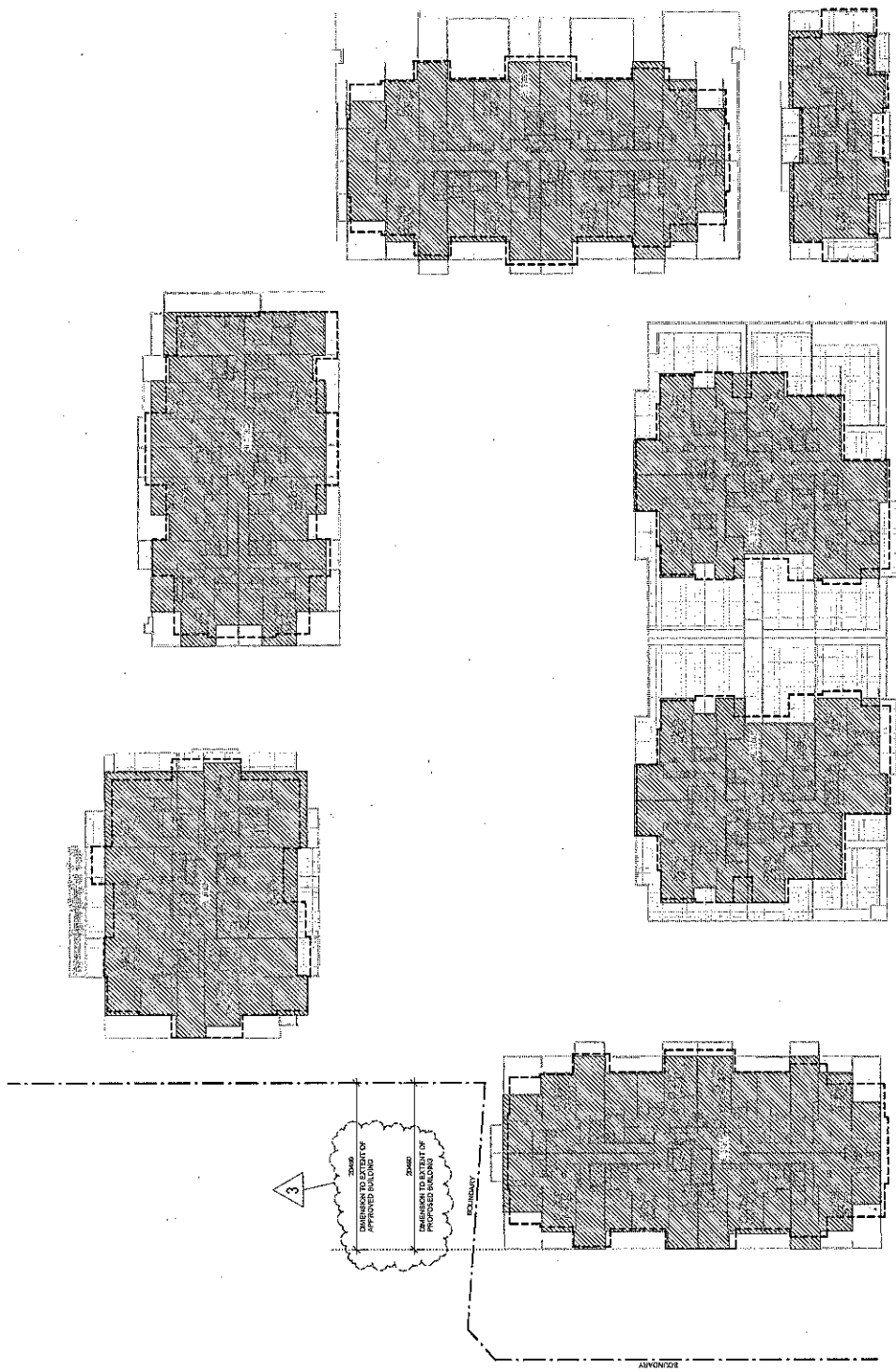
CHECKED BY
DH

DRAWING NUMBER
012

REVISION
3

DATE
27/11/12

FOOTPRINT
COMPARISON FIRST
FLOOR PLAN



DASHED LINE DENOTES APPROVED
EXTERNAL BUILDING ENVELOPE
BALCONIES NOT SHOWN FOR
CLARITY

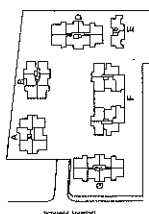
HATCHED AREA DENOTES
PROPOSED EXTERNAL BUILDING
ENVELOPE BALCONIES NOT
SHOWN FOR CLARITY

DA/S96 FOOTPRINT ANALYSIS FIRST FLOOR PLAN

1

1: 250

1. This drawing is a preliminary design and is not to be used for construction purposes without the approval of the relevant authorities.



LOCATION PLAN

dydams

Project Description: 1st Flr
 Date: 01/12/11
 Drawn by: [Name]
 Checked by: [Name]
 CLIENT

Project: Court, 80-84 Tasmanian
 Parade & Hamilton Road
 Fairfield West NSW

PROJECT NUMBER
 243.1

REV. No	REVISION DESCRIPTION	REV. DATE
1	Issued for Section 98	08/12
2	Re Issued for Section 98	17/01/12
3	Dimensions Added	27/11/12

ATTACHMENT

SECTION 96

SCALE @ B1
 1:250

DATE
 01/12/11

SCALE @ A1
 1:250

DATE
 01/12/11

SCALE @ A1
 1:250

DATE
 01/12/11

SCALE @ A1
 1:250

DATE
 01/12/11

SCALE @ A1
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DATE
 01/12/11

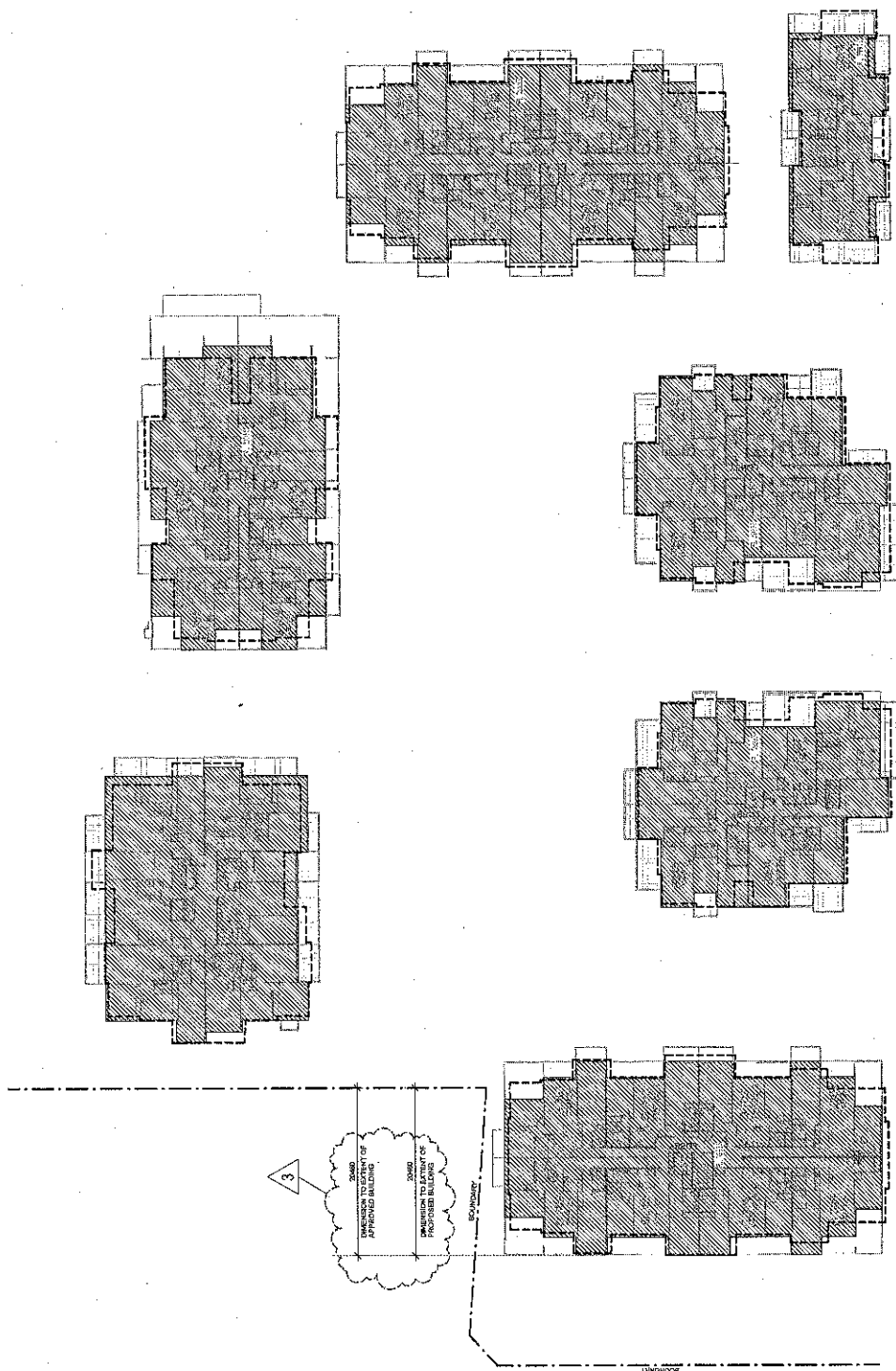
SCALE @ A1
 1:250

DATE
 01/12/11

SCALE @ A1
 1:250

DASHED LINE DENOTES APPROVED
 EXTERNAL BUILDING ENVELOPE
 (DIMENSIONS NOT GRANT FOR
 CLARITY)

HATCHED AREA DENOTES
 EXTERNAL BUILDING ENVELOPE
 OF PROPOSED EXTERNAL BUILDING
 ENVELOPE (DIMENSIONS NOT
 GRANT FOR CLARITY)

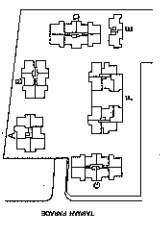


1 DA/S96 FOOTPRINT ANALYSIS SECOND FLOOR PLAN

1:250

FOOTPRINT
 COMPARISON
 SECOND
 FLOOR PLAN

DA/SS6 FOOTPRINT ANALYSIS THIRD FLOOR PLAN
 1:250
 11/12/11
 014
 3



LOCATION PLAN

dylance

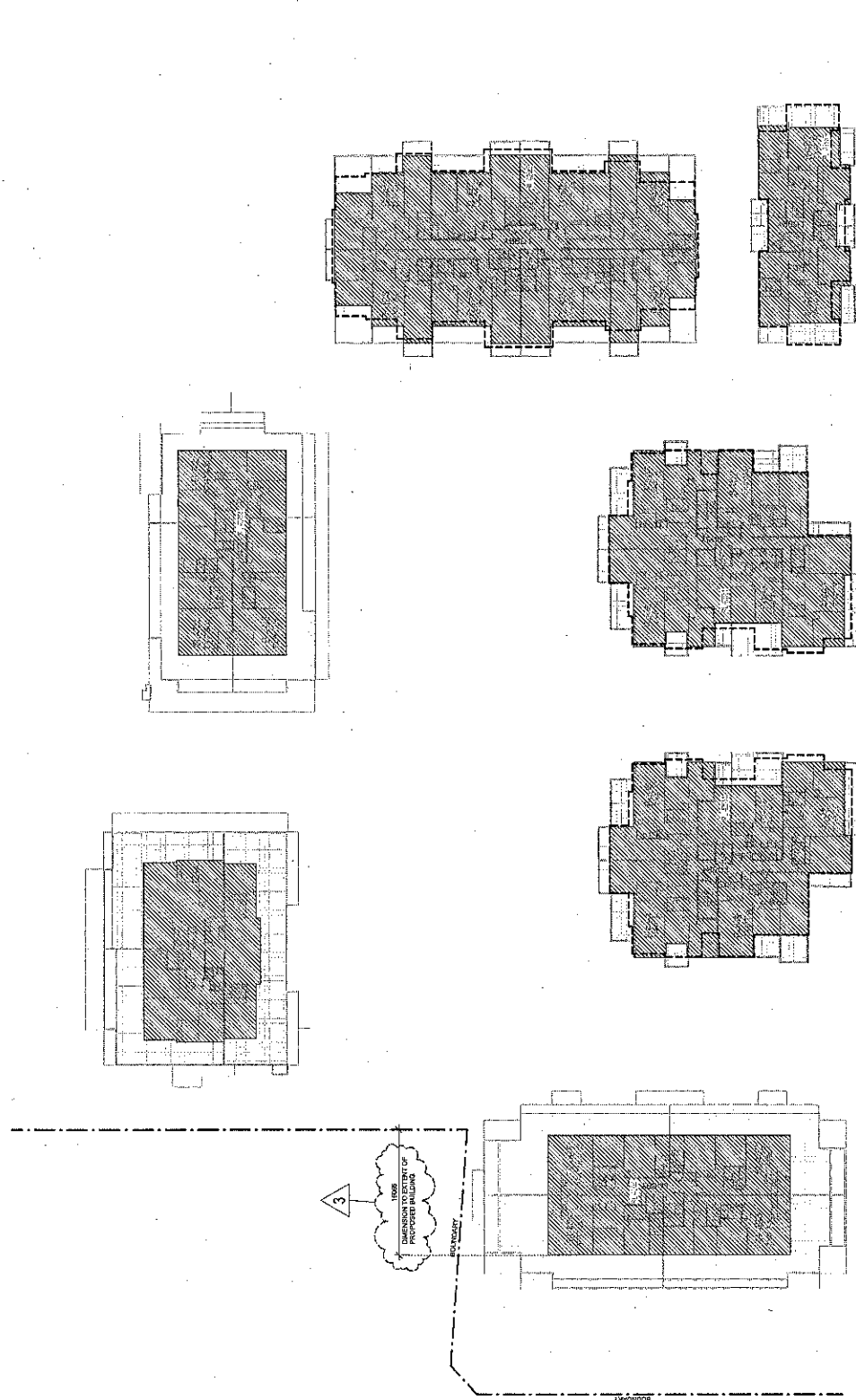
11/12/11
 014
 3

PROJECT
 11/12/11
 014
 3

REV. NO.	REVISION DESCRIPTION	REV. DATE
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2	Re Issued for Section 96	17/6/12
3	Dimensions Added	27/11/12

ATTACHMENT

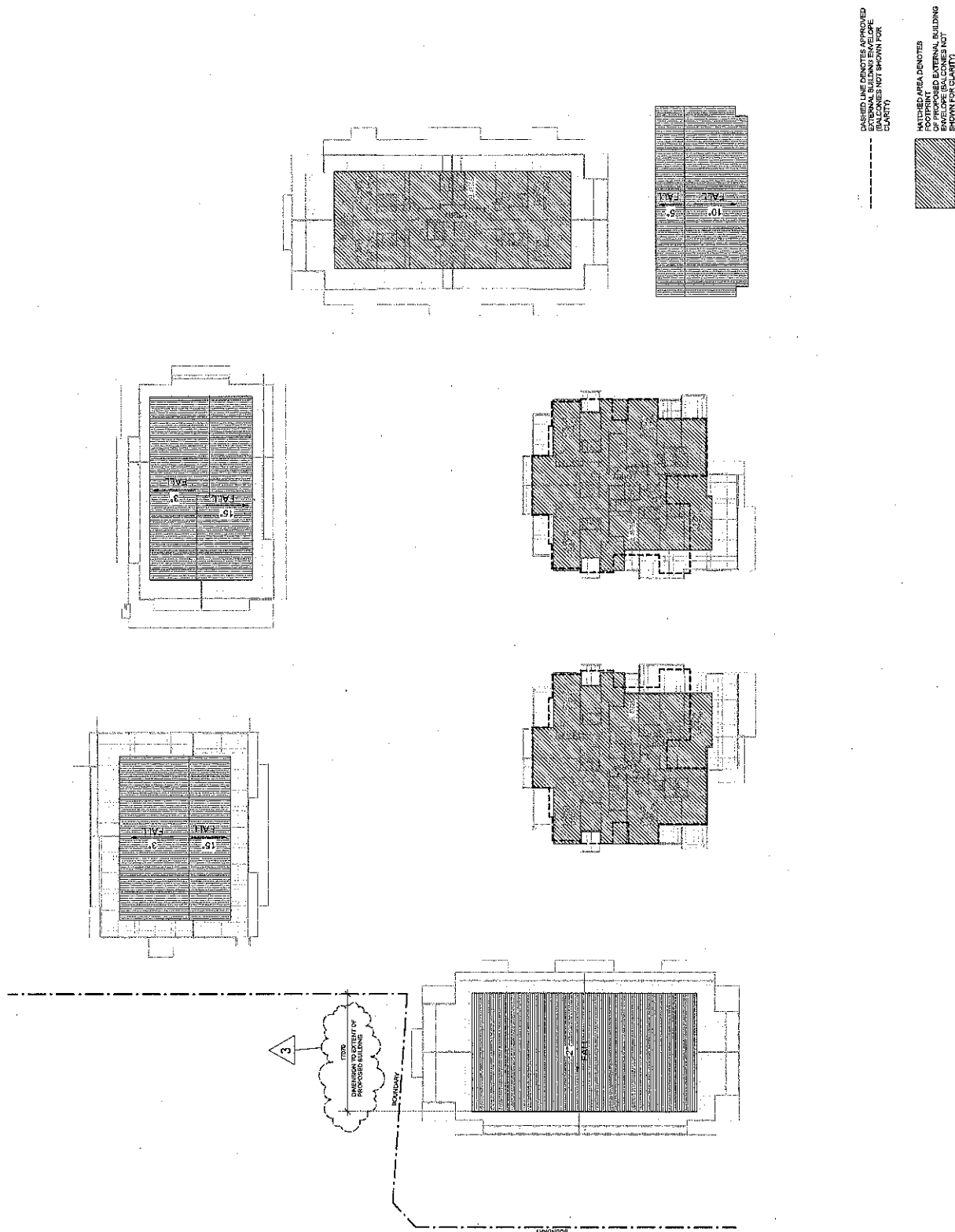
SECTION 96
 SCALE @ B1
 1:250
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 DATE
 6/12/11
 DRAWN BY
 JD
 CHECKED BY
 DH
 DRAWING NUMBER
 014
 REVISION
 3
 DRAWING
 FOOTPRINT
 COMPARISON
 FLOOR PLAN



1 DA/SS6 FOOTPRINT ANALYSIS THIRD FLOOR PLAN
 1:250

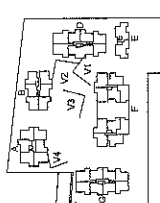
DASHED LINE DENOTES APPROVED
 EXTERNAL BUILDING ENVELOPE
 (ALL DIMENSIONS NOT SHOWN FOR
 CLARITY)
 HATCHED AREA DENOTES
 EXISTING EXTERNAL BUILDING
 ENVELOPE (ALL DIMENSIONS NOT
 SHOWN FOR CLARITY)

REV. No	REVISION DESCRIPTION	REV. DATE
1	Issued for Section 96	5/8/12
2	Re Issued for Section 96	17/9/12
3	Dimensions Added	27/11/12



1 DA/S96 FOOTPRINT ANALYSIS FOURTH FLOOR PLAN
1:250

Drawings are to be used for the purpose of the project only. They are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in the drawings.



LOCATION PLAN

dyldam

Architects
100-110 Stirling Street, Perth WA 6000
Phone: (08) 9442 1000
Fax: (08) 9442 1001
Email: info@dyldam.com.au
Website: www.dyldam.com.au

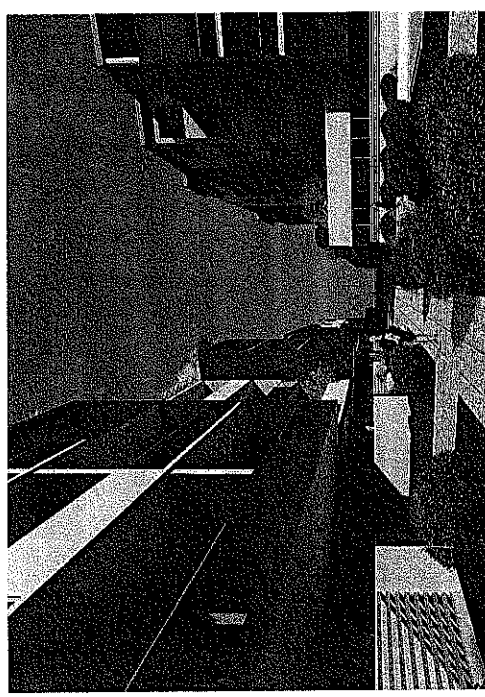
CLIENT

PROJECT
Tasman Court, 30-34 Tasman
Parade & Hamilton Road
Fairfield West NSW

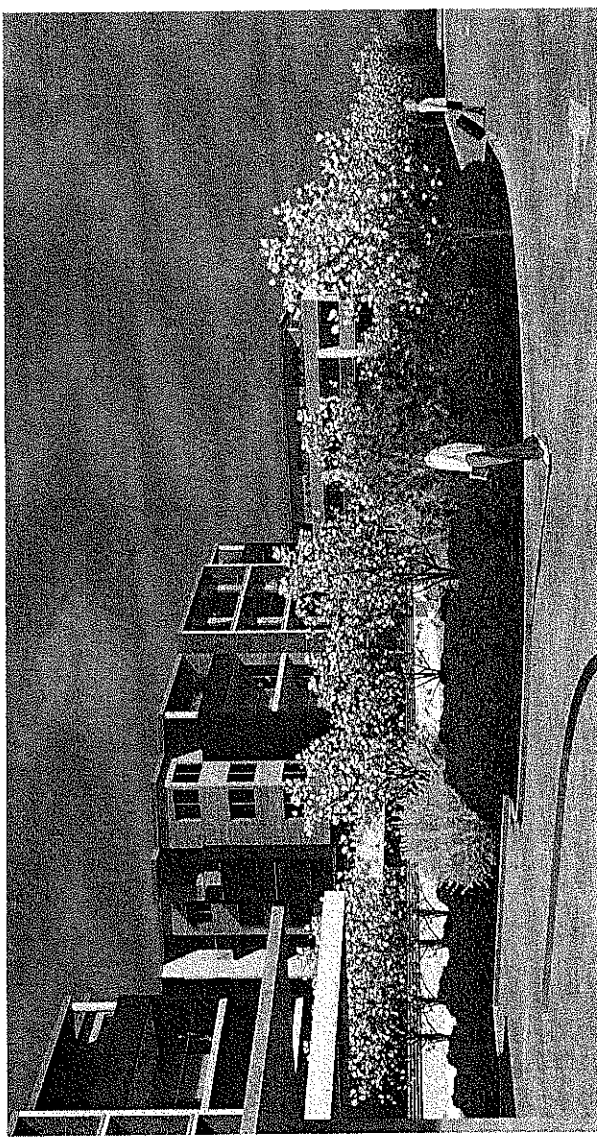
PROJECT NUMBER
243.1

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NO.	DESCRIPTION	DATE
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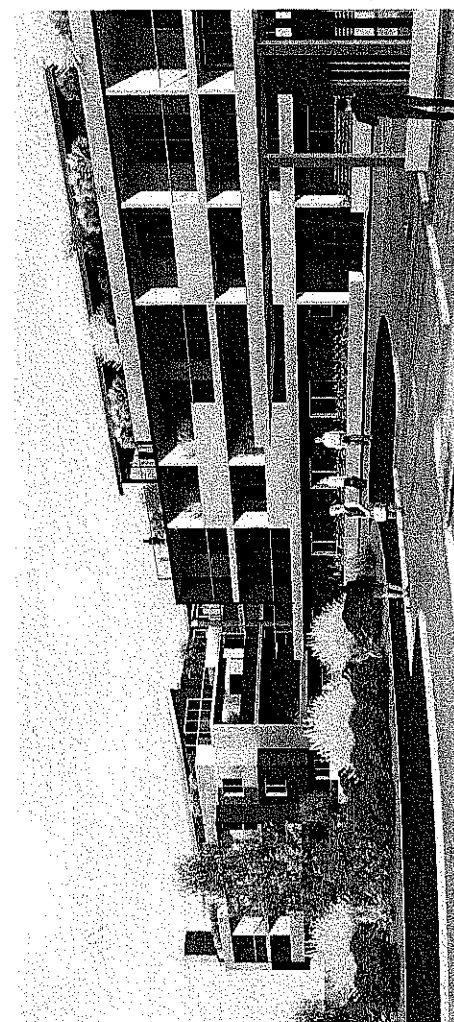
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SCALE 6/8
SCALE 6/8
DATE 6/12/11
DRAWN BY MF
CHECKED BY DH
DRAWING NUMBER 091
REVISION 1
INTERVAL 1



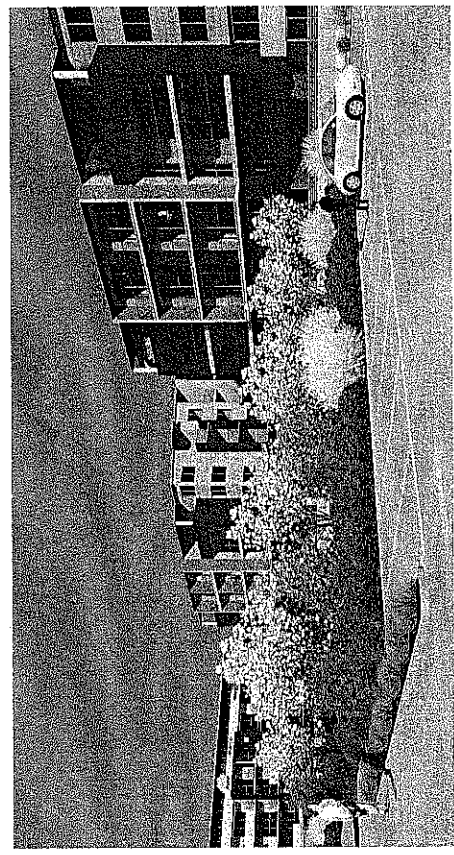
VIEW 1 BLOCKS D AND F



VIEW 2 BLOCKS F AND G

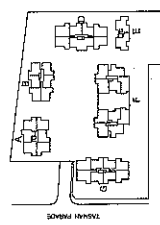


VIEW 3 BLOCKS A AND B



VIEW 4 BLOCKS F AND D

2. All buildings shall be constructed in accordance with the Building Code of Australia (BCA) and the relevant Australian Standards (AS).



dydam

243.1

PROJECT
Tasman Court 80-84 Tasman
Parade & Hamilton Road
Fairfield West NSW

PROJECT NUMBER
243.1

REV	REVISION	DESCRIPTION	REV DATE
1	ISS	Complete	23/04/12
2	ISS	Car parking updated	7/5/12
3	ISS	Internal road layout	13/5/12
4	ISS	Revised	23/6/12
5	ISS	Revised	23/6/12
6	ISS	Revised for Section 98	5/6/12
7	ISS	Revised for Section 98	17/6/12

SECTION 98

SCALE @ 1:500

SCALE @ A3

DATE 8/12/11

DRAWN BY J.D.

CHECKED BY D.H.

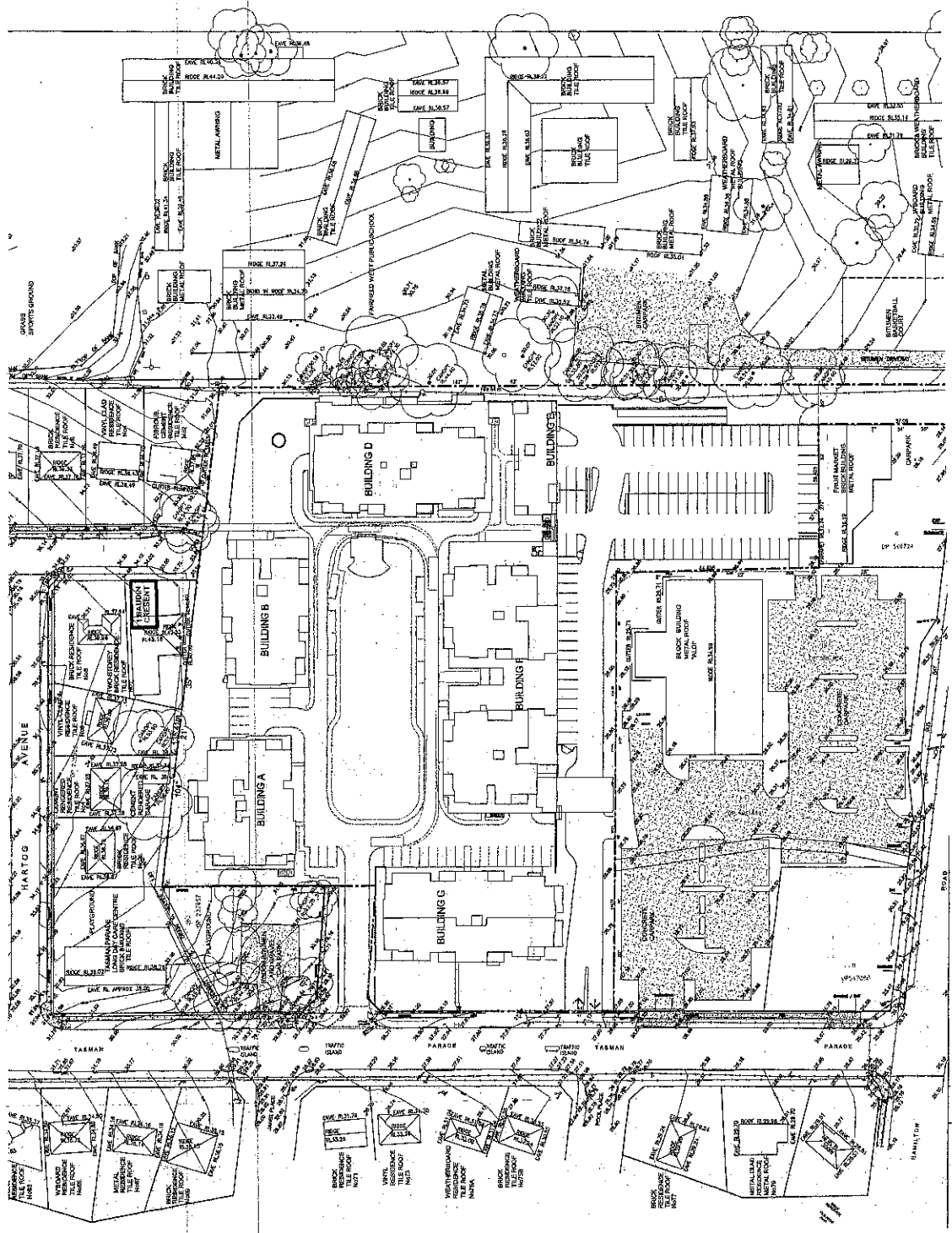
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REVISION 6

ISSUED FOR SECTION 98

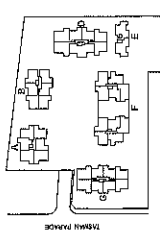
ATTACHMENT

SITE PLAN



1 SITE PLAN
1:500

Drawings are to be used in accordance with the Australian Standard AS 1546-2012. The client is responsible for ensuring that the drawings are used in accordance with the Australian Standard AS 1546-2012.



LOCATION PLAN

dydam

dydam Pty Ltd
11/11-11/12
11/13-11/14
11/15-11/16
11/17-11/18
11/19-11/20
11/21-11/22
11/23-11/24
11/25-11/26
11/27-11/28
11/29-11/30
11/31-12/01
12/02-12/03
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12/06-12/07
12/08-12/09
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12/14-12/15
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12/18-12/19
12/20-12/21
12/22-12/23
12/24-12/25
12/26-12/27
12/28-12/29
12/30-12/31

CUSTOMER

PROJECT
Tasman Court, 80-84, Tasman
Parade & Hamilton Road
Fairfield West NSW

PROJECT NUMBER
243.1

REV.	REASON	REV. DATE
1	Issued for Block	20/1/12
2	Issued for Block	20/1/12
3	Issued for Block	20/1/12
4	Issued for Block	20/1/12
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97	Issued for Block	20/1/12
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99	Issued for Block	20/1/12
100	Issued for Block	20/1/12

SECTION 96

SCALE 1:250

DATE 6/12/11

SCALE 1:250

DATE 6/12/11

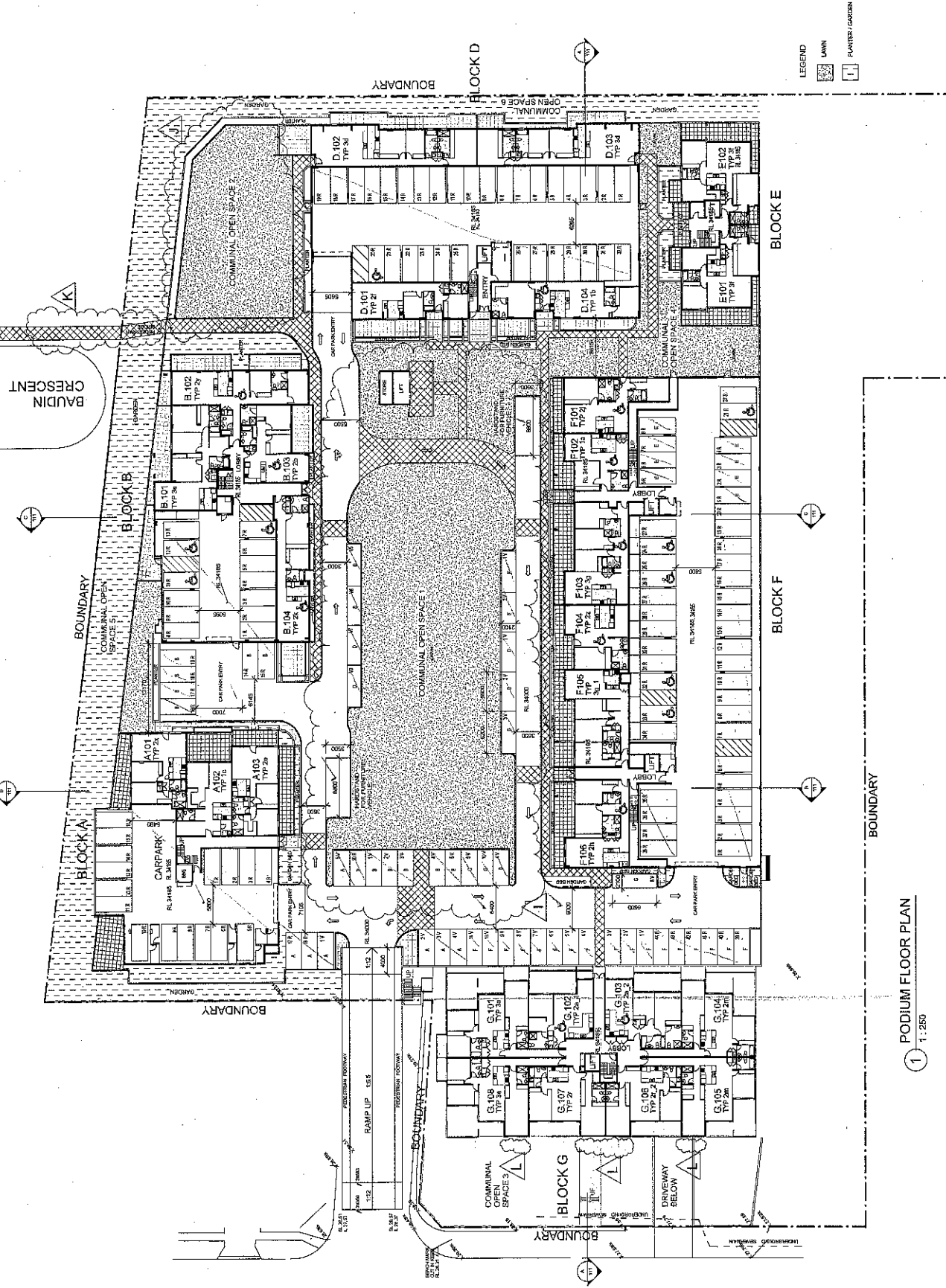
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DATE 6/12/11

SCALE 1:250

DATE 6/12/11

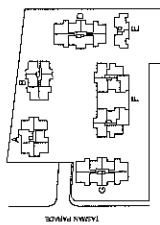
SCALE 1:250



NOTE
FOR MORE INFORMATION REFER
TO THE ARCHITECT'S AND ENGINEER'S
DRAWINGS

1 PODIUM FLOOR PLAN
1:250

1. This plan is to be used in conjunction with the Section 96 and 105 of the Environmental Planning and Assessment Act 1979 (NSW) and the Environmental Planning and Assessment Regulation 2007 (NSW).



LOCATION PLAN

dylam

Corporate Development Pty Ltd
 Level 11, 111 Market Street, Sydney NSW 2000
 Phone: +61 2 9230 1000
 Email: info@dylam.com.au

CLIENT

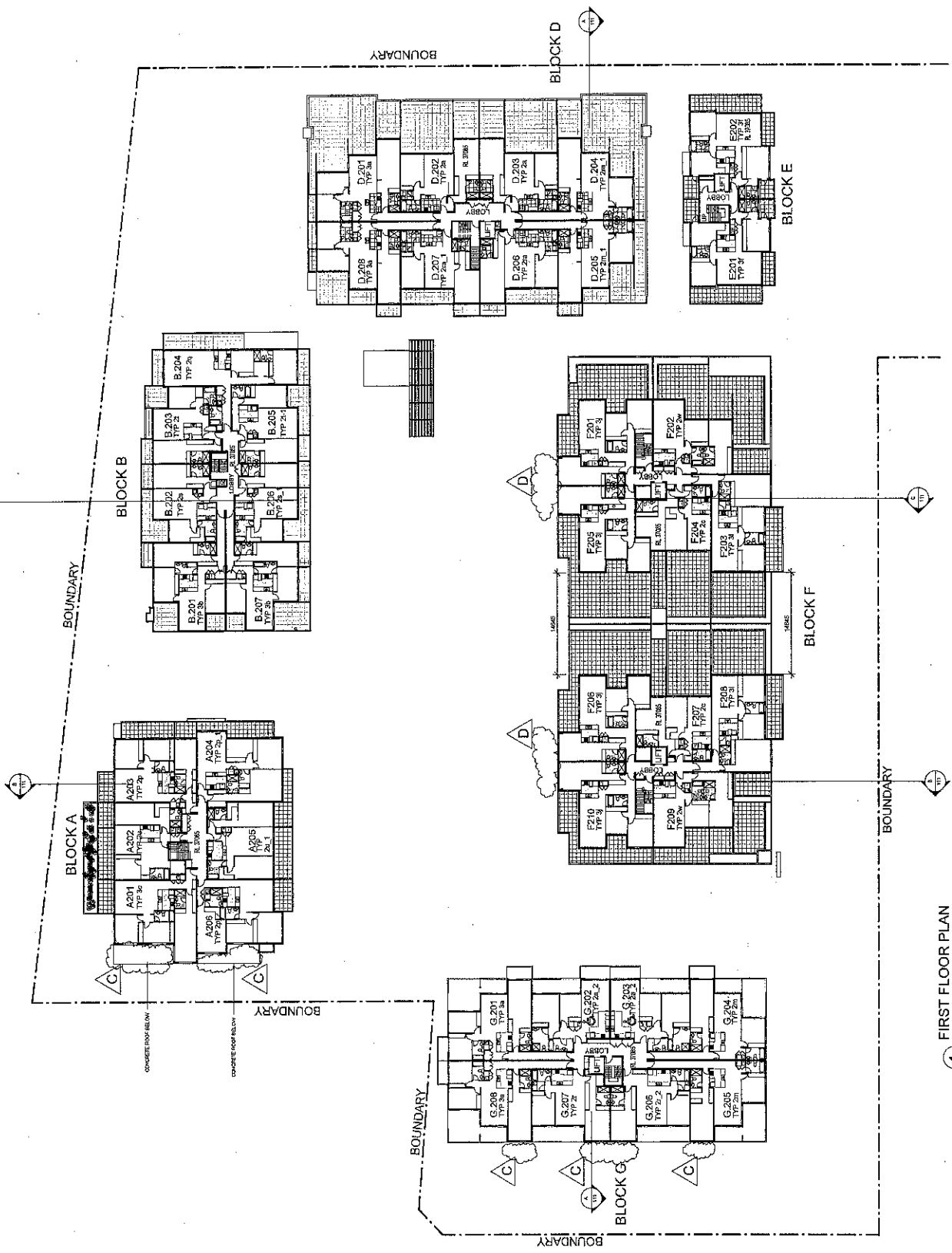
PROJECT
 Tasman Court, 80-84 Tasman
 Parade & Hamilton Road
 Fairfield West NSW

PROJECT NUMBER
 243.1

REV. NO.	REVISION	REV. DATE
1	Issued for Block	25/07/12
2	Issued for Section 96	26/07/12
A	Lifts in Buildings A & B	
B	Staircase Added & Stair	
3	Re issued for Section 96	17/01/12
C	Revised to western	
	Entrances of blocks A and	
	D removed	
	Staircase removed	
	of block F removed	

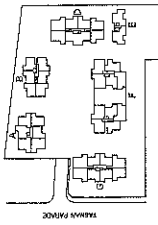
SECTION 96
 SCALE 1:1250
 DATE 8/12/11
 DRAWN BY JD
 CHECKED BY DA
 DRAWING NO 105
 REVISION 3

DRAWING
 FIRST FLOOR PLAN



1 FIRST FLOOR PLAN
 1:250

Client: [illegible]
Project: [illegible]
Drawing: [illegible]



LOCATION PLAN

dydams

Project: [illegible]
Client: [illegible]
Drawing: [illegible]

CLIENT

PROJECT
[illegible]
[illegible]
[illegible]
[illegible]

PROJECT NUMBER
243.1

REV.	REVISION	REV.	DATE
1	Issued for Block	243.1	24/02/12
2	Issued for Section 96	30/02/12	
3	Re Issued for Section 96	17/04/12	
	Balconies to western		
	Rear of Blocks A and		
A	G removed		

ATTACHMENT

SECTION 96

SCALE @ B1
1:250

SCALE @ A3

DATE
8/12/11

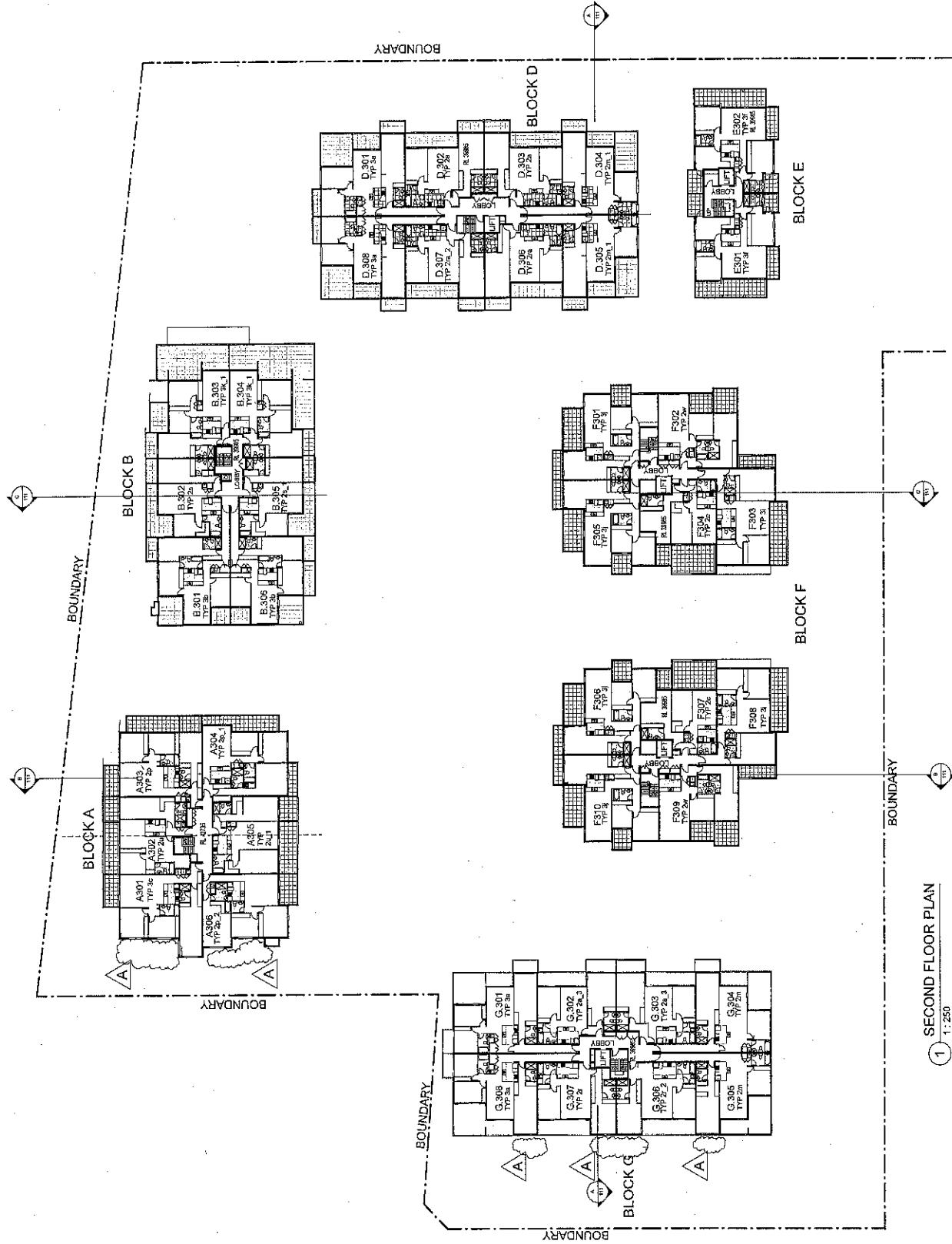
DRAWN BY
JD

CHECKED BY
DH

DRAWING NUMBER
106

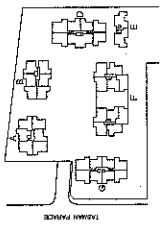
REVISION
3

DRAWING
SECOND FLOOR PLAN



1 SECOND FLOOR PLAN
1:250

Drawings are to be used in accordance with the following conditions:
1. Drawings are to be used in accordance with the following conditions:
2. Drawings are to be used in accordance with the following conditions:
3. Drawings are to be used in accordance with the following conditions:



LOCATION PLAN



dyldam
14/15/2022
14/15/2022
14/15/2022
14/15/2022

CLIENT

PROJECT
Tasman Court, 80-84 Tasman
Parade & Hamilton Road
Fairfield West NSW

PROJECT NUMBER
243.1

REV.	REVISION	DESCRIPTION	REV. DATE
1	Issued for Block	22/5/22	
2	Issued for Section 96	5/6/22	
A	3 Roof Top Units Added to Block A		
B	3 Roof Top Units Added to Block B		
C	4 Roof Top Units Added to Block C		
3	Re issued for Section 96	17/9/22	

SECTION 96
SCALE 1:250
SCALE 1:250
SCALE 1:250
SCALE 1:250

DATE
8/12/11

DESIGNED BY
JD

DRAWING NUMBER
107

REVISION
3

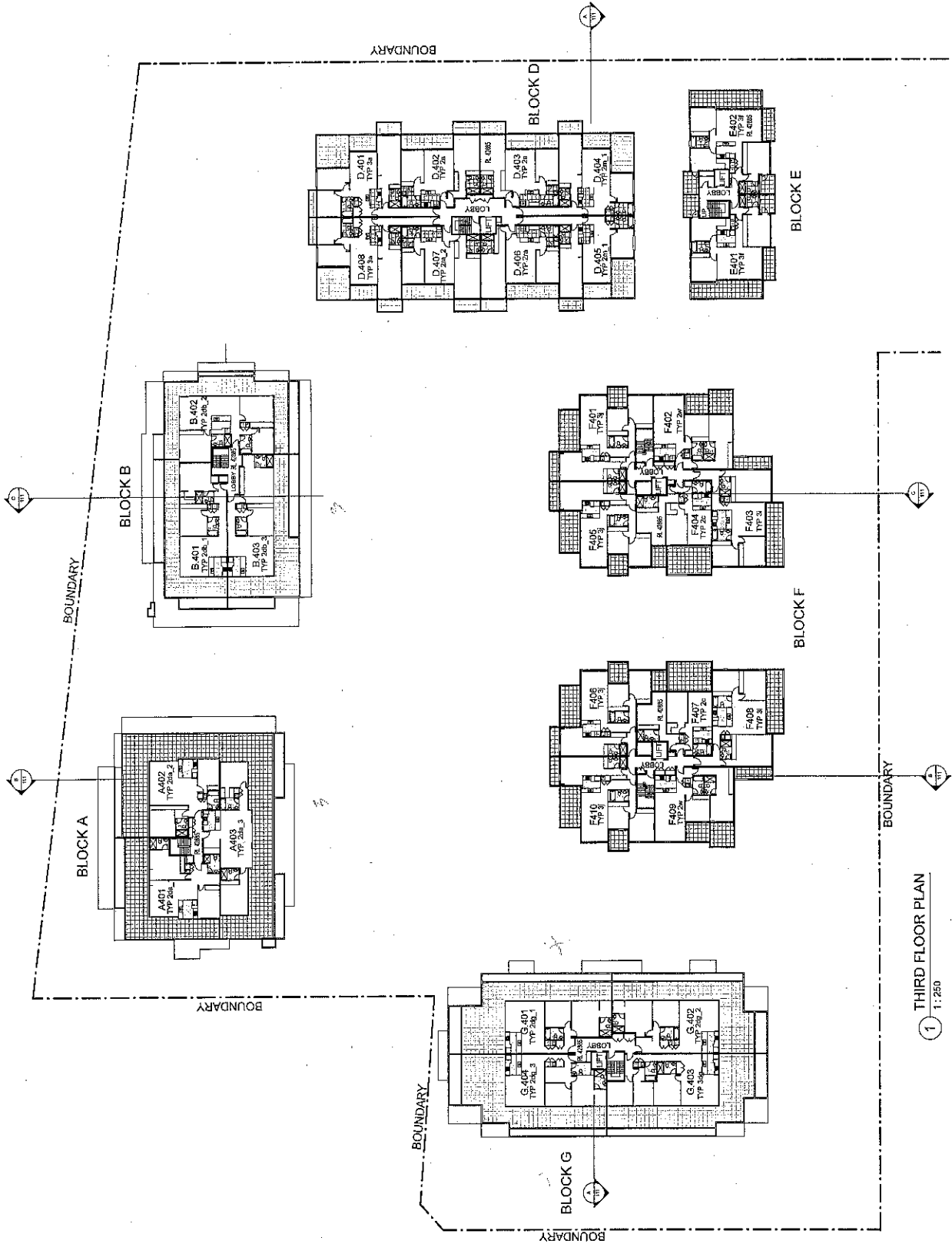
DRAWN BY
JD

THIRD FLOOR PLAN

1:250

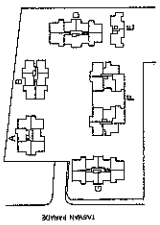
1:250

1:250



1 THIRD FLOOR PLAN
1:250

Drawings of this project are the property of the Architect and shall not be used for any other project without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in this drawing.



LOCATION PLAN



dydam
ARCHITECTS
10/11-13/15
10/11-13/15
10/11-13/15

CLIENT

PROJECT
Tasman Court, 80-84 Tasman
Parade & Hamilton Road
Fairfield West NSW

PROJECT NUMBER
243.1

REV. NO.	REVISION	DESCRIPTION	REV. DATE
1	Issued for Tender		22/07/12
2	Issued for Section 96		06/07/12
A	4 Roof Top Units Added		
B	5 Block D		
C	6 Block D (Added to Roof Top Unit, Blocks A, B & G)		
3	The Issued for Section 96		17/09/12
C	Roofs to Blocks A & B		
C	Roofs to Blocks A & B		
D	Concrete roof on Block E		
D	Concrete roof on Block E		

SECTION 96
SCALE 6 BY
1:250



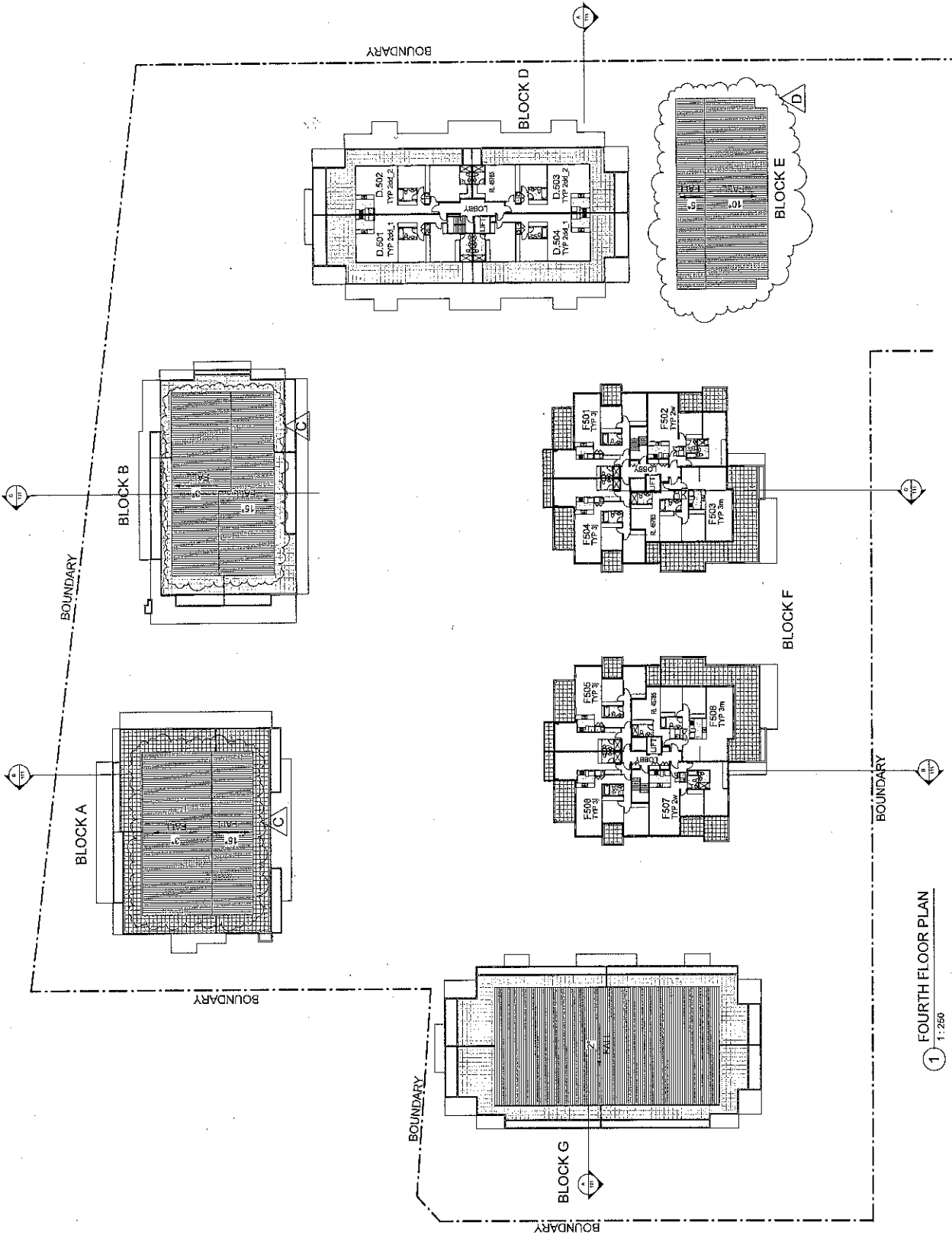
DATE
06/07/11

DRAWN BY
10/11-13/15

CHECKED BY
10/11-13/15

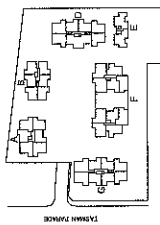
DATE
06/07/11

FOURTH FLOOR PLAN



FOURTH FLOOR PLAN
1:250

On the basis of the above, the Architect certifies that the drawings are true and correct copies of the original drawings and that they have been prepared in accordance with the provisions of the Building Act 1993 and the Building Regulations 2006.



LOCATION PLAN

dykdam

Architects & Planners
100/102 Market Street, Sydney, NSW 2000
Phone: (02) 9250 1234
Fax: (02) 9250 1235
Email: info@dykdam.com.au
Website: www.dykdam.com.au

CLIENT

PROJECT
Tasman Court, 80-84 Tasman
Parade & Hamilton Road
Fairfield West NSW

PROJECT NUMBER
243.1

REV. NO.	REVISION	REV. DATE
1	Issued for Block	23/5/12
2	Issued for Section 96	30/12
A	Roof Top Units Added to Block G	
B	Roof Top Units Added to Block D	
C	Roof Top Units Added to Block D	
D	Roof Top Units Added to Block D	
E	Roof Top Units Added to Block D	
F	Roof Top Units Added to Block D	
G	Roof Top Units Added to Block D	
H	Roof Top Units Added to Block D	
I	Roof Top Units Added to Block D	

SECTION 96

SCALE @ B1
1:250

SCALE @ A3
1:250

DATE
6/12/11

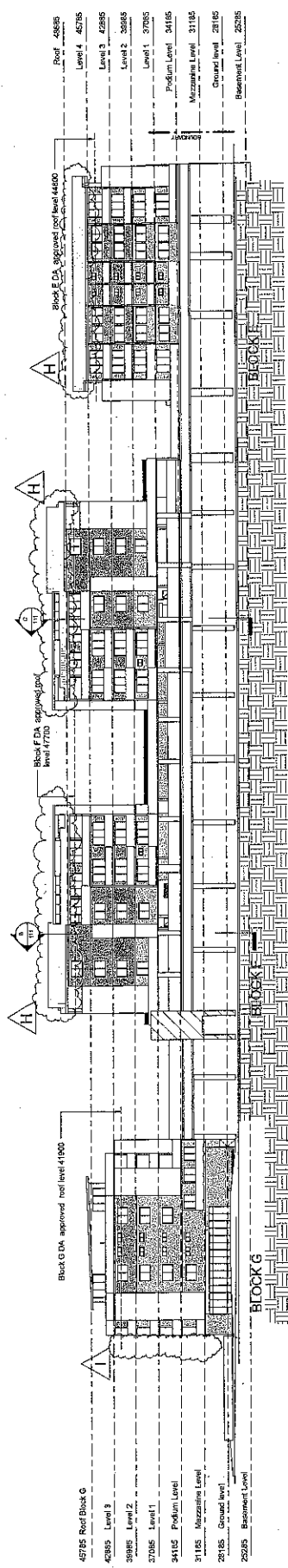
DRAWN BY
JD

CHECKED BY
DH

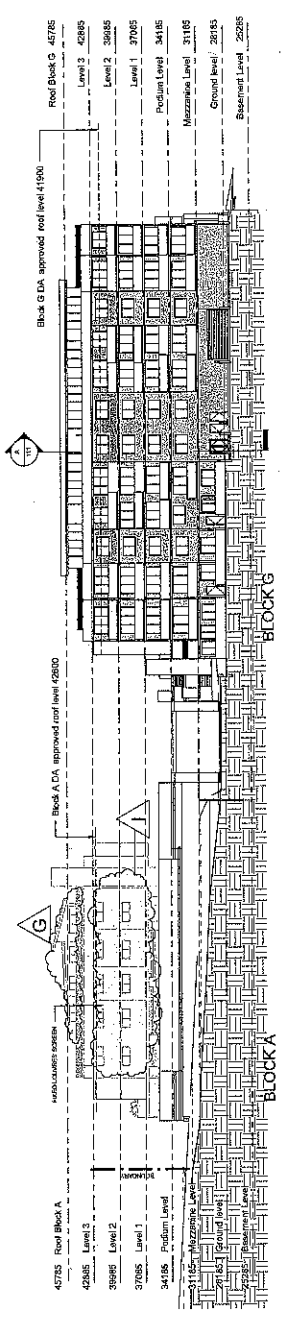
DRAWING NUMBER
110

REVISION
3

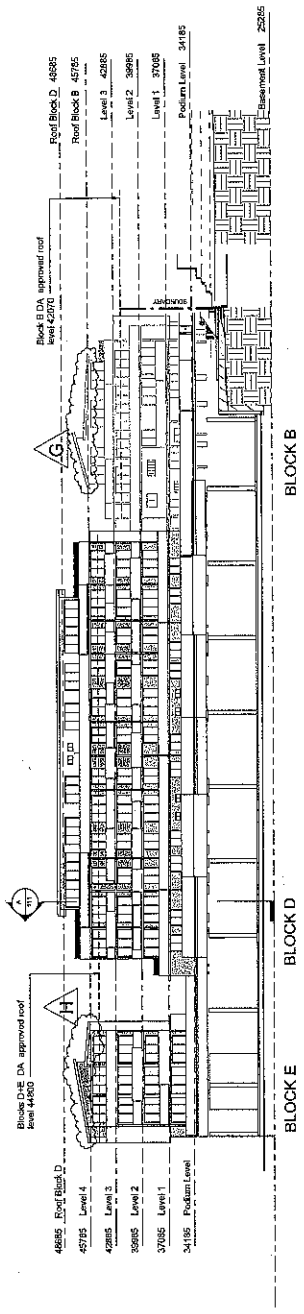
STREET ELEVATIONS



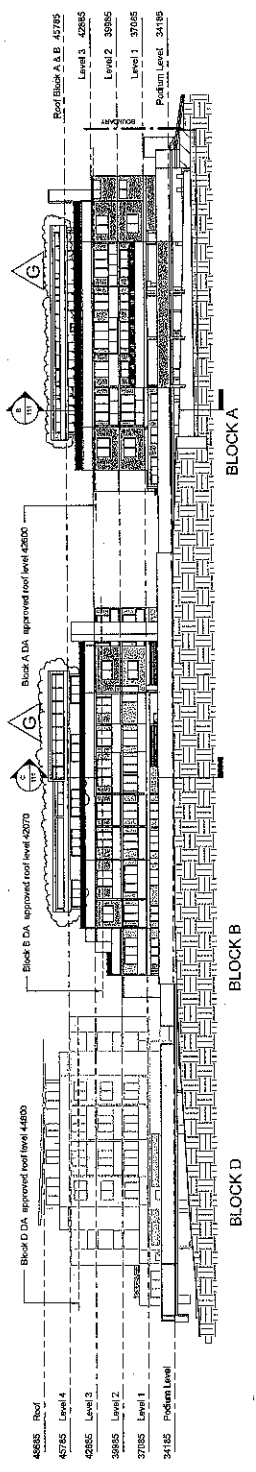
1 SOUTH ELEVATION
1:250



2 WEST ELEVATION
1:250

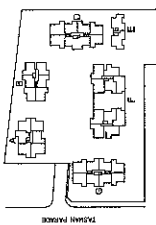


3 EAST ELEVATION
1:250



4 NORTH ELEVATION
1:250

SECTION 96 OF THE BUILDING ACT 1993 (NSW) AND THE BUILDING REGULATIONS 2006 (NSW) APPLY TO THIS DOCUMENT. THE PROJECT IS SUBJECT TO THE BUILDING ACT 1993 (NSW) AND THE BUILDING REGULATIONS 2006 (NSW).

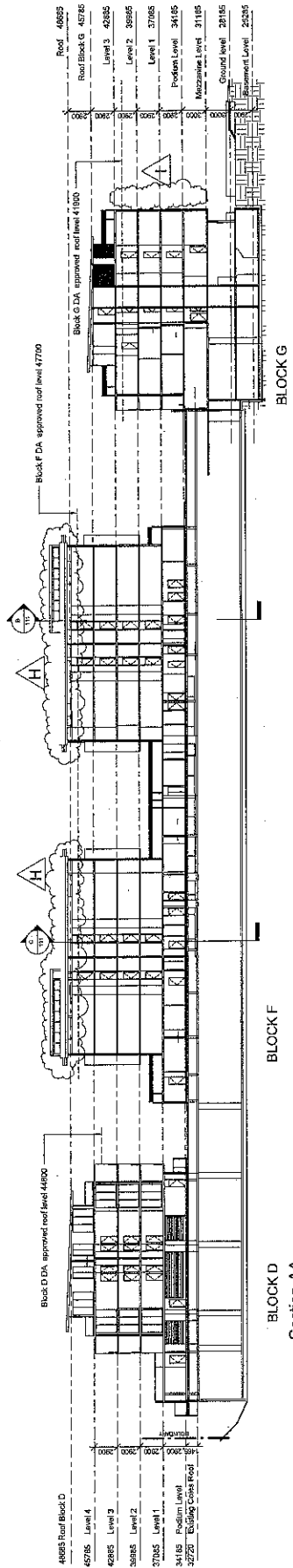


LOCATION PLAN

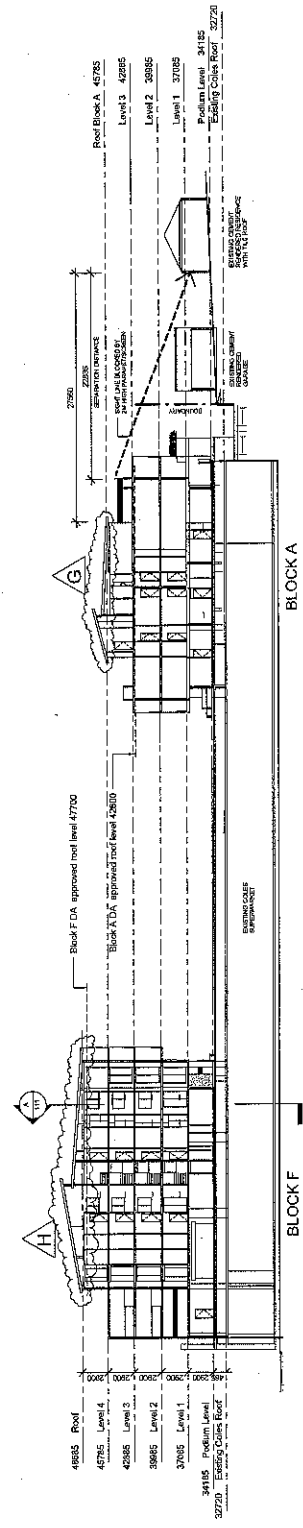
dydam
Dydam Pty Ltd
Level 10, 100 Pitt Street, Sydney, NSW 2000
Phone: +61 2 9250 7000
Email: info@dydam.com.au
www.dydam.com.au

PROJECT
Tasman Court, 80-84, Tasman
Parade & Hamilton Road
Fairfield West NSW
PROJECT NUMBER
243.1

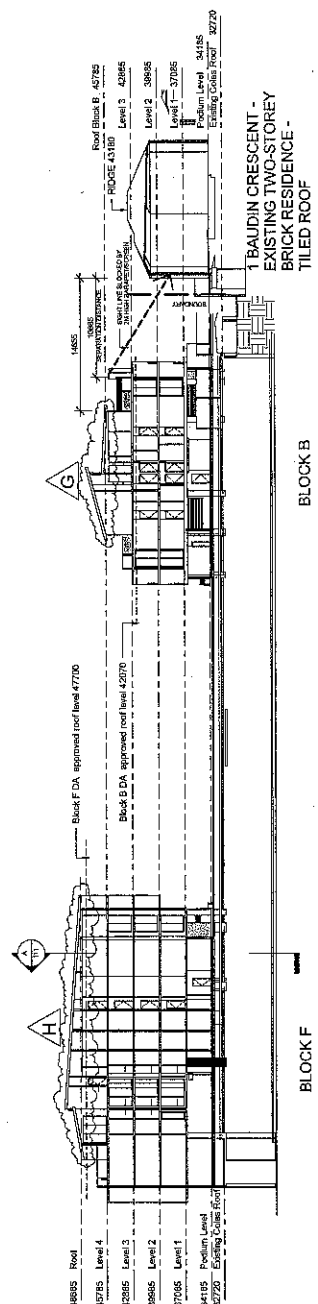
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1	Issued for Block	20/04/13
2	Issued for Section 96	30/01/12
A	Basement Added to Building G	
B	Podium level Raised, Podium level Added to Block G	
C	Roof Top Units Added to Block G	
D	Roof Top Units Added to Block D	
E	Roof Top Units Added to Block D	
F	Roof Top Units Added to Block D	
G	Roof Top Units Added to Block D	
H	Roof Top Units Added to Block D	
I	Roof Top Units Added to Block D	



Section AA
1:250



Section BB
1:250



Section CC
1:250

SECTION 96
SCALE 1:250
SCALE 1:250
DATE 8/12/11
DRAWN BY J.D.
CHECKED BY D.H.
DESIGNED BY D.H.
REVIEWED BY 3
PROJECT NUMBER 243.1

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LOCATION PLAN

Dydam Pty Ltd
 80/84 Tasman Parade
 Fairfield West NSW 2147
 Phone: 02 9611 1111
 Email: info@dydam.com.au
 Website: www.dydam.com.au

CLIENT

REV. NO.	REVISION DESCRIPTION	REV. DATE
1	Issued for Section 96	3/6/12
2	Issued for Section 96	17/6/12

SECTION 96

SCALE @ 1:300

SCALE @ 1:300

DATE 6/12/11

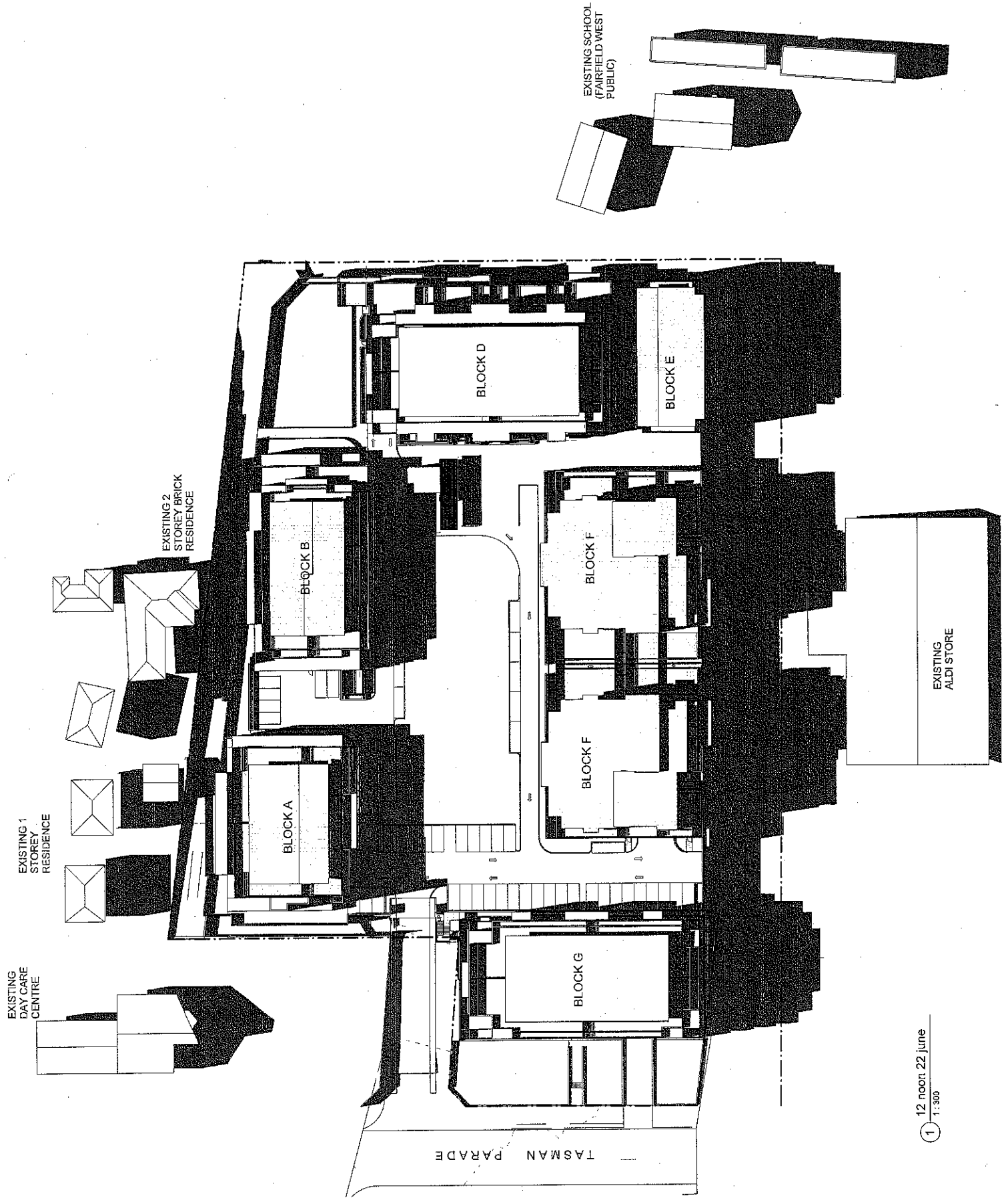
DRAWN BY JO

CHECKED BY DH

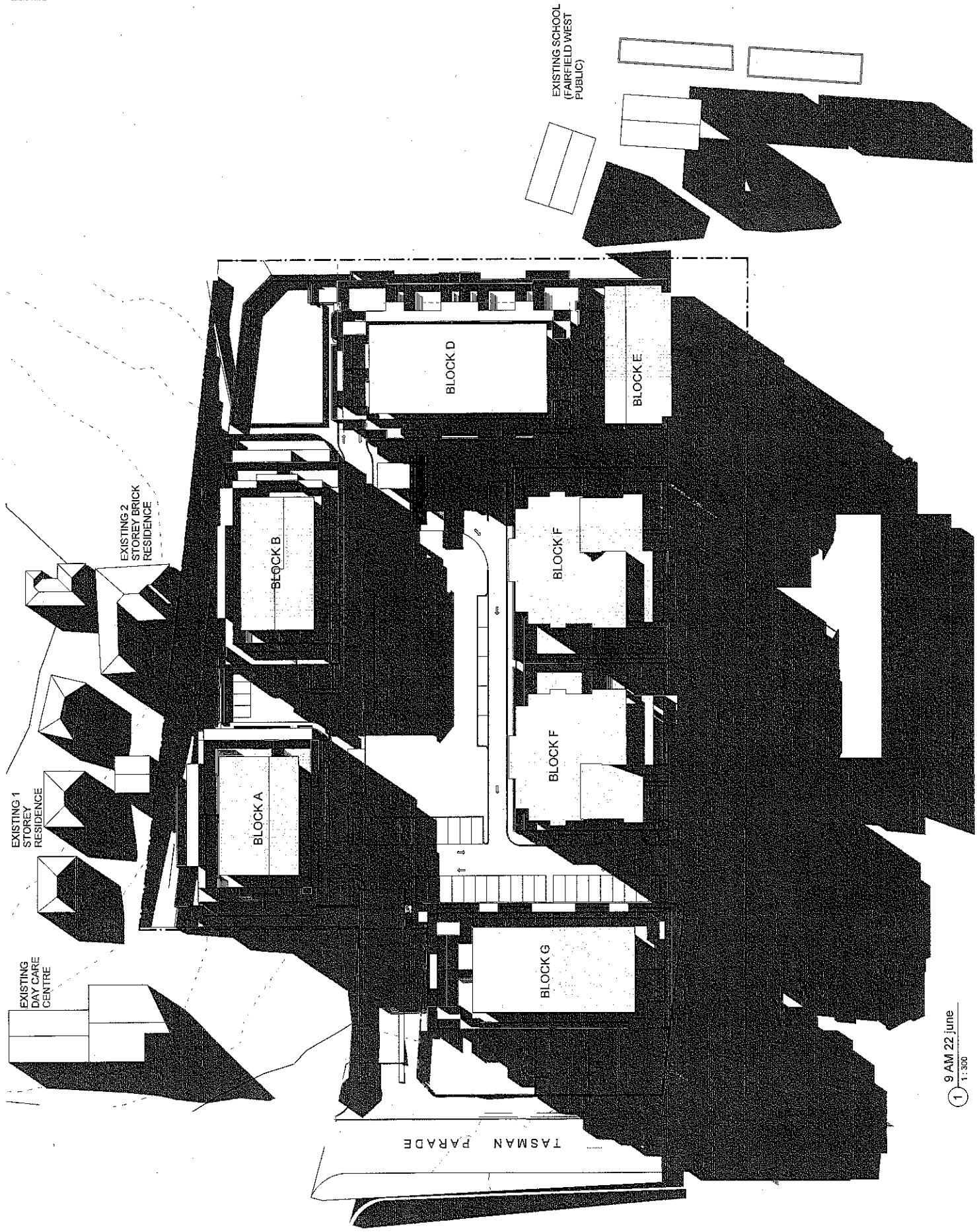
REVISION 2

SHADOWING

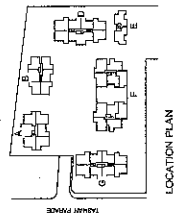
SHADOW DIRECTION (12 NOON 22 JUNE)



1 12 noon 22 June 1:300



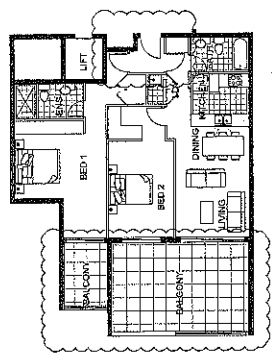
1. All units are to be built to the 'as shown' standard. The 'as shown' standard is the standard of construction and finish shown on the drawings. The 'as shown' standard is the standard of construction and finish shown on the drawings. The 'as shown' standard is the standard of construction and finish shown on the drawings.



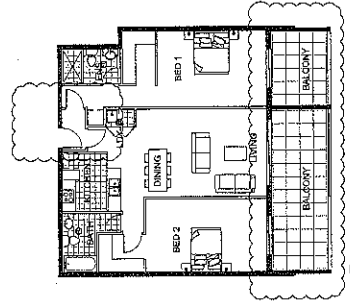
LOCATION PLAN

SECTION 96

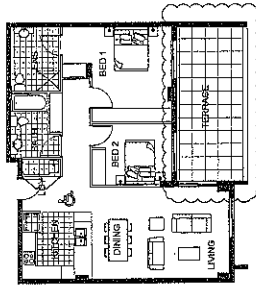
No.	Description	Area
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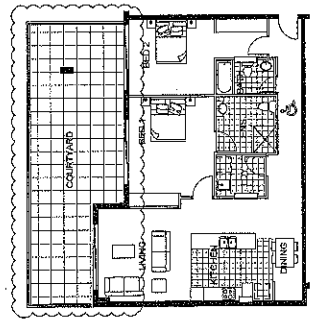
04 2 Bedroom - '2c'
Total 115 sqm (84 + 31)



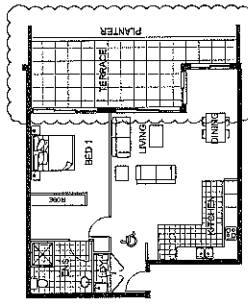
08 2 Bedroom - '2u 1'
Total 129 sqm (101 + 28)



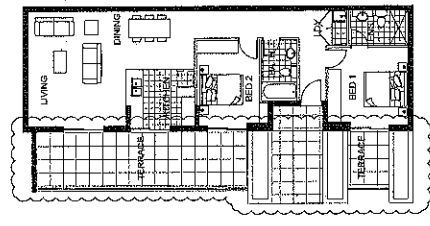
03 2 Bedroom - '2b' Adaptable
Total 114 sqm (83 + 21)



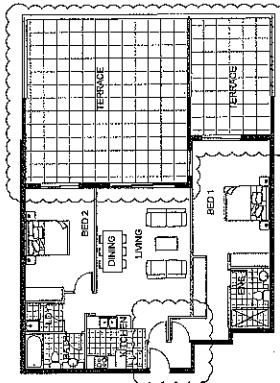
07 2 Bedroom - '2h' Adaptable
Total 154 sqm (108 + 46)



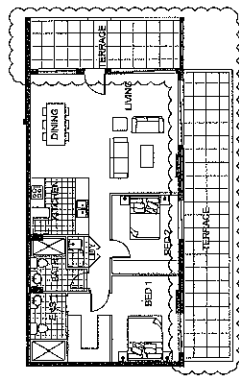
02 1 Bedroom - '2a 1' Adaptable
Total 100 sqm (76 + 24)



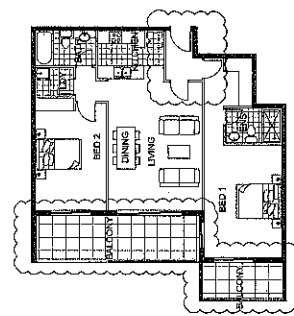
06 2 Bedroom - '2f'
Total 131 sqm (86 + 45)



01 2 Bedroom - '2a'
Total 168 sqm (94 + 74)



05 2 Bedroom - '2e'
Total 131 sqm (88 + 43)



09 2 Bedroom - '2ra'
Total 113 sqm (92 + 21)

PROJECT
Tasman Court
80/82 & 84 Tasman Parade
Hobart TAS 7000

DESIGNED BY
UNIT LAYOUT PLANS INCORPORATED
(2 BEDROOM UNITS)
SHEET 1

PROJECT NO.
243.1

SCALE
1:100

DATE
1/10/00

BY
M. J. JONES

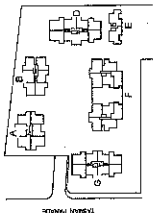
CHECKED BY
M. J. JONES

APPROVED BY
M. J. JONES

dyldam

dyldam Pty Ltd
148/150 Collins Street
Melbourne VIC 3000
Phone: +61 3 9607 2700
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Website: www.dyldam.com.au

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SECTION 96

No.	Description	Area
1	Bedroom 1	12.5
2	Bedroom 2	12.5
3	Living & Dining	12.5
4	Kitchen	12.5
5	Bathroom	12.5
6	Study	12.5
7	Ensuite	12.5
8	Laundry	12.5
9	Garage	12.5
10	Verandah	12.5
11	Porch	12.5
12	Staircase	12.5
13	Hallway	12.5
14	Storage	12.5
15	Roof	12.5
16	Basement	12.5
17	Attic	12.5
18	Garage	12.5
19	Verandah	12.5
20	Porch	12.5
21	Staircase	12.5
22	Hallway	12.5
23	Storage	12.5
24	Roof	12.5
25	Basement	12.5
26	Attic	12.5
27	Garage	12.5
28	Verandah	12.5
29	Porch	12.5
30	Staircase	12.5
31	Hallway	12.5
32	Storage	12.5
33	Roof	12.5
34	Basement	12.5
35	Attic	12.5
36	Garage	12.5
37	Verandah	12.5
38	Porch	12.5
39	Staircase	12.5
40	Hallway	12.5
41	Storage	12.5
42	Roof	12.5
43	Basement	12.5
44	Attic	12.5
45	Garage	12.5
46	Verandah	12.5
47	Porch	12.5
48	Staircase	12.5
49	Hallway	12.5
50	Storage	12.5
51	Roof	12.5
52	Basement	12.5
53	Attic	12.5
54	Garage	12.5
55	Verandah	12.5
56	Porch	12.5
57	Staircase	12.5
58	Hallway	12.5
59	Storage	12.5
60	Roof	12.5
61	Basement	12.5
62	Attic	12.5
63	Garage	12.5
64	Verandah	12.5
65	Porch	12.5
66	Staircase	12.5
67	Hallway	12.5
68	Storage	12.5
69	Roof	12.5
70	Basement	12.5
71	Attic	12.5
72	Garage	12.5
73	Verandah	12.5
74	Porch	12.5
75	Staircase	12.5
76	Hallway	12.5
77	Storage	12.5
78	Roof	12.5
79	Basement	12.5
80	Attic	12.5
81	Garage	12.5
82	Verandah	12.5
83	Porch	12.5
84	Staircase	12.5
85	Hallway	12.5
86	Storage	12.5
87	Roof	12.5
88	Basement	12.5
89	Attic	12.5
90	Garage	12.5
91	Verandah	12.5
92	Porch	12.5
93	Staircase	12.5
94	Hallway	12.5
95	Storage	12.5
96	Roof	12.5
97	Basement	12.5
98	Attic	12.5
99	Garage	12.5
100	Verandah	12.5

PROJECT

Tasman Court

8000 & 8100 Tasman Parade

Fieldfield West

NSW

DATE

08/05/2014

DESIGNED BY

T&M Architects

UNIT LAYOUT PLAN - MODIFIED

(2 BEDROOM LAYOUT)

SHEET 2

SCALE

243:1

DATE

14/05/2014

SCALE

1:100

DATE

14/05/2014

dyldan

Owner: Tasman Court Pty Ltd

Architect: T&M Architects Pty Ltd

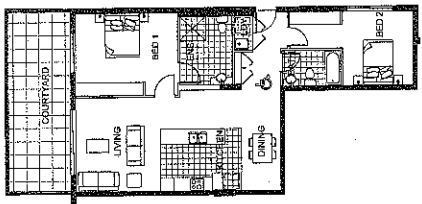
Project No: 12/2014/001

Drawn: 14/05/2014

Check: 14/05/2014

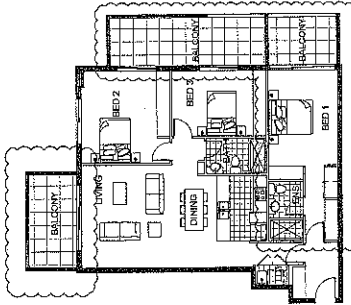
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Sheet: 2 of 2

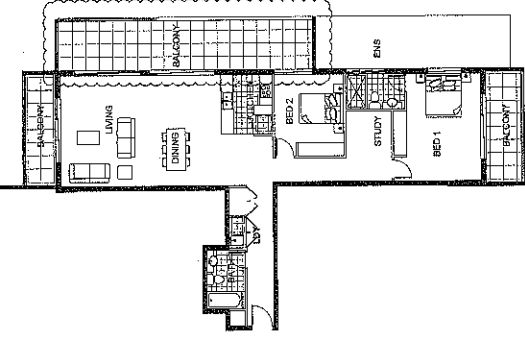


01 2 Bedroom - '2i'
Total 113 sqm (92 + 21)

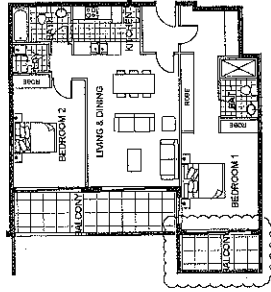
02 2 Bedroom - '2i' Adaptable
Total 118 sqm (95 + 23)



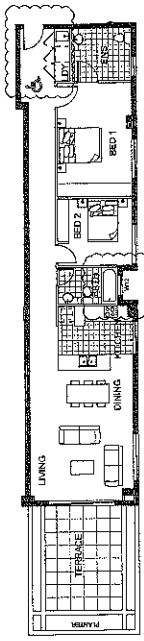
06 3 Bedroom - '2p'
Total 142 sqm (110 + 32)



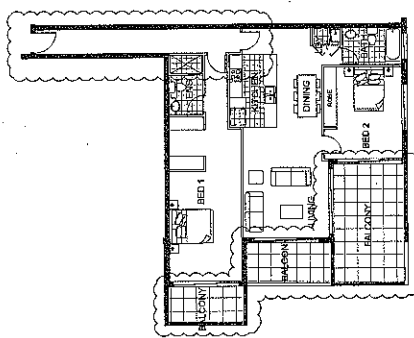
07 2 Bedroom + Study - '2q'
Total 152 sqm (111 + 41)



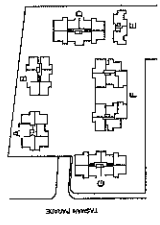
08 2 Bedroom - '2r'
Total 115 sqm (96 + 19)



03 2 Bedroom - '2k' Adaptable
Total 128 sqm (101 + 27)



04 2 Bedroom - '2m'
Total 133 sqm (103 + 30)



LOCATION PLAN

SECTION 96

[illegible]

Tasman Court
60/62 & 64 Tasman Parade
Fairfield West
NSW

AT

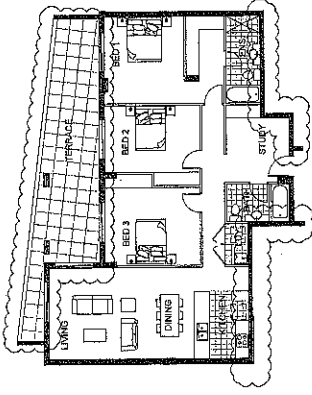
UNIT LAYOUT PLANS - MODIFIED
(2 BEDROOM + STUDY & 3
BEDROOM UNITS)
SHEET 4

PROJECT NO. 243.1
SHEET 04
1:100
DATE MAY 2012
DRAWN BY CH

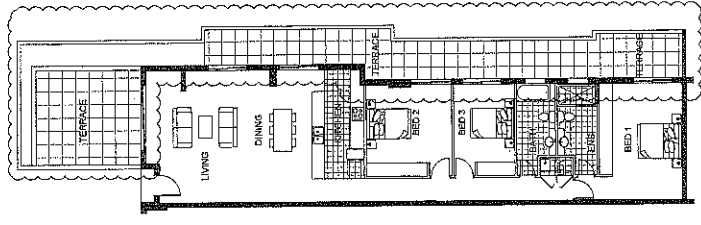
dyldani

[illegible]

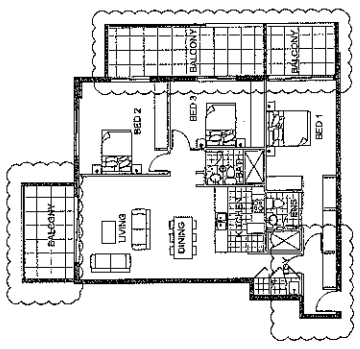
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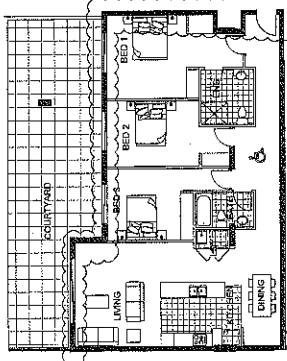
04	3 Bedroom + Study - '3e'	Total 156 sqm (124 + 32)
-		



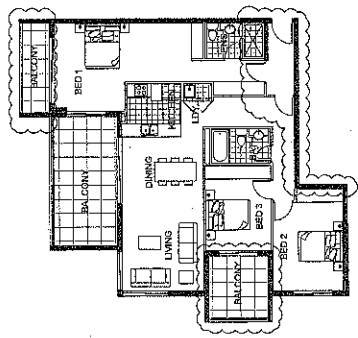
03	3 Bedroom - '3d'	Total 169 sqm (136 + 33)
-		



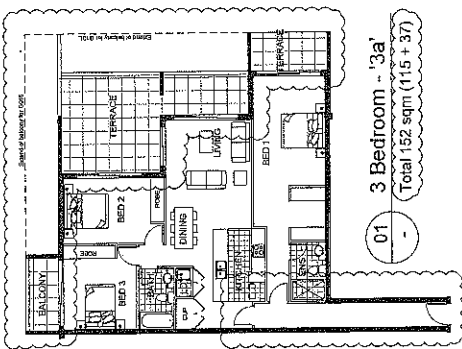
02	3 Bedroom - '3C'	Total 142 sqm (110 + 32)
-		



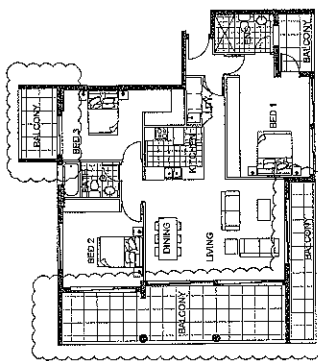
07	3 Bedroom - '3g' Adaptable
-	Total 181 sqm (124 + 57)



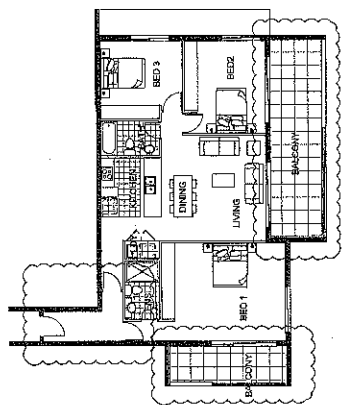
10	3 Bedroom - '3j'	Total 142 sqm (112 + 30)
-		



01	3 Bedroom - '3a'	Total 152 sqm (115 + 37)
-		

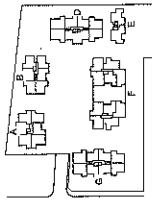


06	3 Bedroom - '3f'	Total 139 sqm (106 + 33)
-		



09	3 Bedroom - '3i'	Total 141 sqm (111 + 30)
-		

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LOCATION PLAN



SECTION 96

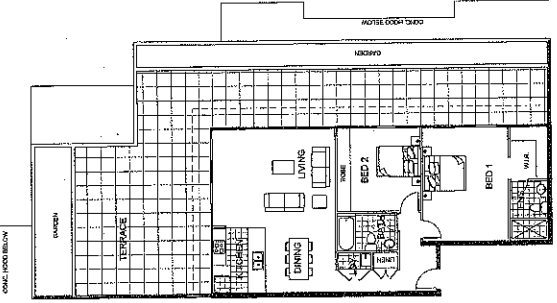
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PROJECT
Tasmanian Court
100-110 West Street
Perth, Western Australia
6000
NSW

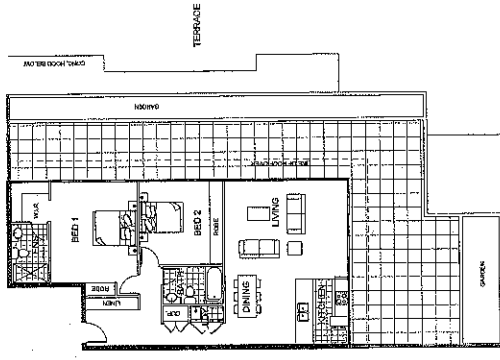
UNIT LAYOUT PLAN
2, 3 BEDROOM UNITS
SHEET 6

DATE: 10/01/2018
SCALE: 1:100
JOB NO: 1001

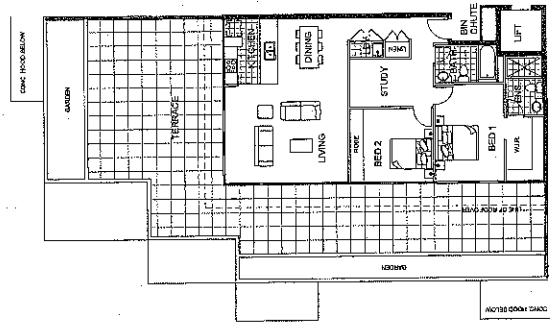
dyblam
Architects
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6000
NSW
Phone: +61 8 9400 7700
Fax: +61 8 9400 7701
Email: info@dyblam.com.au
Web: www.dyblam.com.au



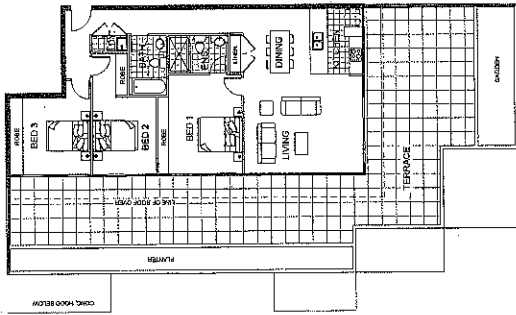
04 2 Bedroom - '2dg_1'
Total 230 sqm (103 + 127)
Proposed S96 New Rooftop Unit



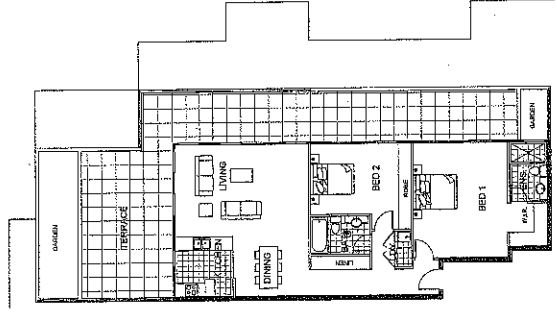
08 2 Bedroom - '2dg_2'
Total 222 sqm (105 + 117)
Proposed S96 Modified Rooftop Unit 'Type 2dg_1'



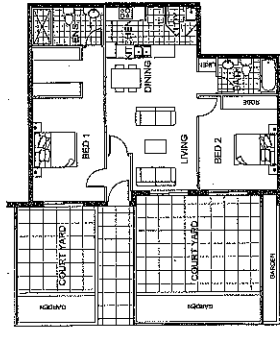
03 2 Bedroom - '2dg_3'
Total 230 sqm (102 + 128)
Proposed S96 New Rooftop Unit



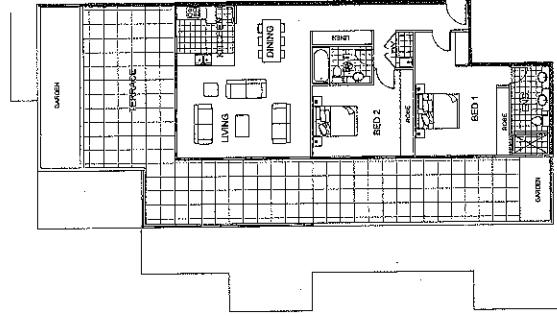
07 3 Bedroom - '3dg'
Total 234 sqm (111 + 123)
Proposed S96 New Rooftop Unit



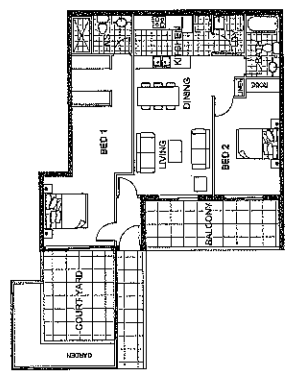
02 2 Bedroom - '2dd_2'
Total 192 sqm (109 + 83)
Proposed S96 Modified Rooftop Unit 'Type 2dd_1'



06 2 Bedroom - '2n_1'
Total 136 sqm (86 + 50)
Proposed S96 New

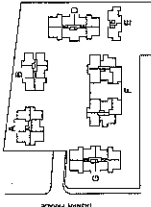


01 2 Bedroom - '2dd_1'
Total 205 sqm (107 + 98)
Proposed S96 New Rooftop Unit



05 2 Bedroom - '2n'
Total 108 sqm (86 + 22)
Proposed S96 New

These drawings are the property of the Architect. They are to be used only for the purpose for which they are prepared. They are not to be used for any other purpose without the written consent of the Architect. The Architect assumes no responsibility for the accuracy or completeness of the information provided by others. The Architect is not responsible for the design of any structure or equipment shown on these drawings. The Architect is not responsible for the design of any structure or equipment shown on these drawings.

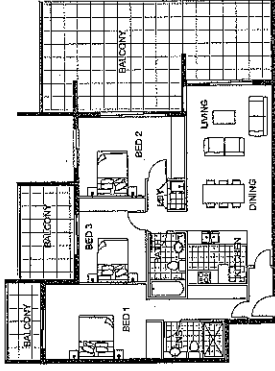


LOCATION PLAN

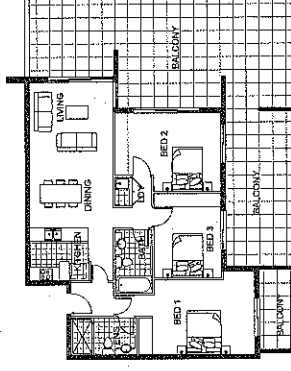


SECTION 96

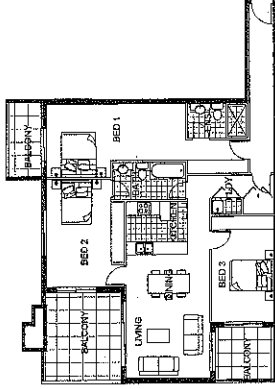
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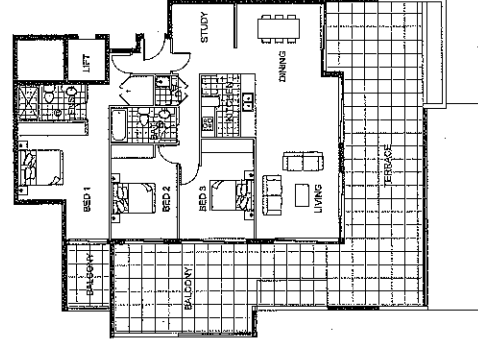
02 3 Bedroom - '3k'
Total 159 sqm (103 + 56)
S96 Proposed New Unit



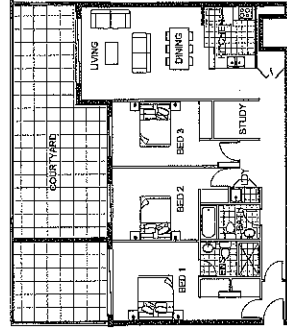
03 3 Bedroom - '3k_1'
Total 184 sqm (101 + 83)
S96 Modified of 'Type 3k'



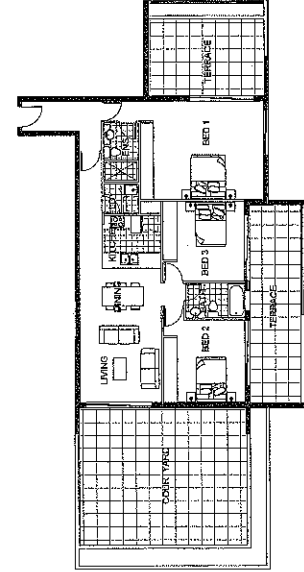
01 3 Bedroom - '3b'
Total 136 sqm (111 + 25)
S96 Proposed New Unit



06 3 Bedroom - '3m'
Total 229 sqm (129 + 100)
S96 Proposed New Unit



04 3 Bedroom - '3g_1'
Total 181 sqm (124 + 57)
S96 Modified 'Type 3g'



05 3 Bedroom - '3l'
Total 216 sqm (111 + 105)
S96 Proposed New Unit

Project: Tashman Court
Address: 100-110 Tashman Court
Sydney NSW

Unit: UNIT LANCHE BLUES-NEW
(3 BEDROOM UNITS)
SHEET 8

Scale: 1:100
Date: 15/07/2024
Author: [Signature]
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